



Ham Road, Worthing



Offers In Excess Of
£525,000
Freehold

- Victorian Terraced Family Home
- Kitchen/Breakfast Room
- Rear Garden
- Freehold
- Wealth of Original Features
- Four Bedrooms
- Central Location
- EPC Rating - TBC
- Council Tax Band - C
- Balcony with Sea Views

**** GUIDE PRICE - £525,000-£550,000 ****. We are delighted to market this attractive bay fronted Victorian terrace family home, situated in East Worthing, close to local shopping facilities, restaurants, the beach, parks, schools, bus routes and mainline station. Accommodation offers entrance porch, entrance hall, lounge, open plan dining room, large kitchen/breakfast room, ground floor shower room, four bedrooms split over two floors, principle bedroom with an en-suite and family bathroom. Other benefits include rear garden and balcony with sea views.

T: 01903 331247 E: info@robertluff.co.uk
www.robertluff.co.uk

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Accommodation

Entrance Porch

Covered entrance porch with period part tiled walls. Front door leading to:

Entrance Hall

Radiator. Stripped wood floor.

Lounge 14'6" x 11'11" (4.43 x 3.64)

Double-glazed bay window to front. Stripped wood floor. Picture rail. Down lights.

Open Plan Dining Room 15'1" x 11'10" (4.62 x 3.61)

Radiator. Stripped wood floor. Picture rail. Double-glazed French doors to garden. Dimmer switch. Solid fuel burner with tiled hearth. Down lights. Cupboard housing electric meters. Under stairs storage recess area. Gas meters. Throughway to:

Kitchen/Breakfast Room 18'8" x 9'6" (5.70 x 2.91)

A range of matching Taupe base and wall units. Hardwood worktop incorporating stainless steel sink unit with mixer tap and drainer. Built in electric oven. Four ring hob. Cooker hood. Integrated whirlpool dishwasher. Space for fridge/freezer. Tiled floor. Double-glazed window. Radiator. Dimmer switch. Breakfast area with space for dining room table and chairs. Double-glazed door to garden.

Inner Lobby Area

Utility cupboard with space and plumbing for washing machine. Shelves. Door to further storage cupboard housing boiler. Door leading to:

Shower Room/Surf Room

Fitted corner shower cubicle with shower. Low level flush WC. Pedestal wash hand basin. Tiled floor. Heated towel rail. Two frosted double-glazed windows. Down lights.

First Floor Landing

Stairs leading to first floor. Decorative corbels.

Bedroom One 15'1" x 14'6" (4.62 x 4.43)

Stripped wood floor. Picture rail. Built in wardrobe with hanging space. Double-glazed bay window. Radiator. Door to balcony.

West Facing Balcony

Enclosed attractive rails. West facing with southerly sea views and distant down land views.

Bedroom Four 12'8" x 9'6" (3.87 x 2.91)

Double-glazed bay window to rear. Picture rail. Radiator.

Bedroom Three 11'10" x 9'8" (3.61 x 2.96)

Feature cast iron fireplace. Double-glazed window. Radiator.

Family Bathroom

Second Floor Landing

Stairs leading to second floor. 7m eaves storage cupboard with double-glazed window and light.

Bedroom Two 19'5" x 11'2" (5.93 x 3.41)

Double-glazed window with distance Easterly views. Laid ash oak effect wood floor. Two double-glazed velux westly window. Eaves storage. Door leading to:

En-Suite

Fitted shower cubicle with sliding door. Low level flush WC. Wash hand basin set into vanity unit. Heated towel rail. Metro brick tiling. Tiled floor.

Outside

Rear Garden

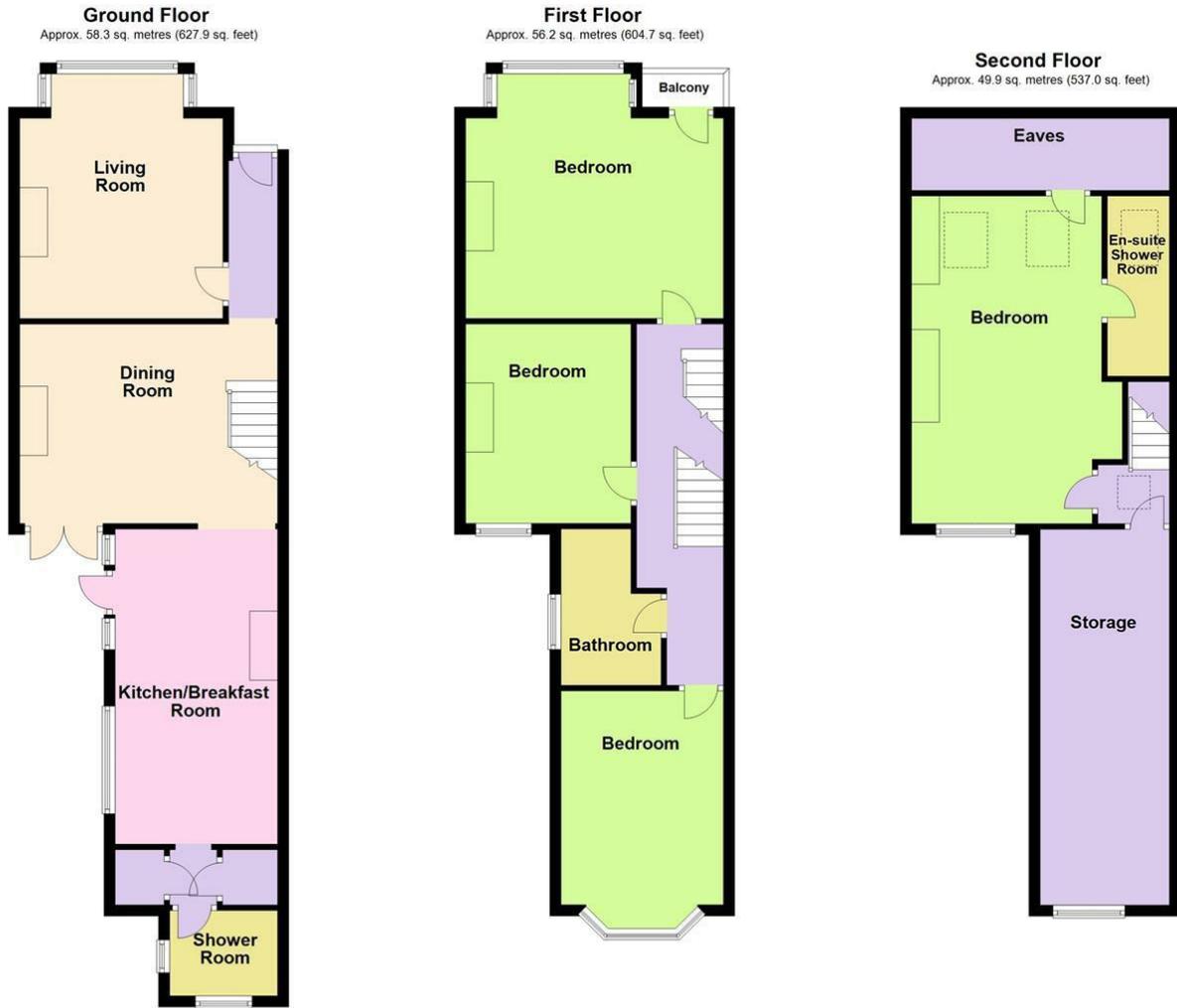
Large decking area. Outside tap. Lawn area. Gated shared rear access.

Front Garden

Formal front garden with hedging given a large amount of inclusion.



Floorplan



Total area: approx. 164.4 sq. metres (1769.6 sq. feet)

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales	EU Directive 2002/91/EC		

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales	EU Directive 2002/91/EC		

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